

J. Scott Osko

CONTRACTOR
LEVEL
INSPECTIONS

Contractor level assessment



1247 Fir Crest Drive , Lake Arrowhead, CA 92352

Prepared for: Jordan Bennett

Age of structure: 1957 Structure size: 1523

Weather conditions: Cold, Damp Cloudy

Taylor Morgan
Pacific Crest Realty

Prepared by:
J. Scott Osko

General contractors license #579473

PROPERTY INSPECTION AGREEMENT

THIS IS INTENDED TO BE A LEGAL AND BINDING CONTRACT.

This Agreement is made between **J. Scott Osko / The Inspection Company** (hereinafter "**COMPANY**") and the undersigned (hereinafter "**CLIENT**"), collectively referred to herein as "the parties." The Parties Understand and Voluntarily Agree as follows:

1. PAYMENT AND SERVICES

The inspection fee shall be paid in full prior to the completion of the Services. Should the CLIENT fail to timely pay the agreed-upon fee(s), the CLIENT shall be responsible for paying any and all fees associated with collection, including but not limited to administration costs, attorney's fees, and costs of litigation. If the CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guarantee payment of the fee by the entity.

2. SCOPE OF PROPERTY INSPECTION AND INCORPORATION BY REFERENCE

A property inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, designed to identify material defects observed on the date of the inspection. A material defect is a specific issue with a system or component that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The COMPANY is a generalist and not a licensed engineer or expert in any specific craft or trade.

Incorporation by Reference: The property inspection shall be performed in accordance with the *Standards of Practice for Property Inspection: J. Scott Osko*, which is attached to or linked within this report. The CLIENT acknowledges that they have had the opportunity to review these Standards, and the CLIENT agrees that the Standards constitute the defining scope, limitations, and governing protocols of this inspection. By signing this Agreement and/or accepting the inspection report, the CLIENT agrees to be bound by the terms contained within both this Agreement and the Standards of Practice.

3. EXCLUSIONS AND LIMITATIONS

The COMPANY is not required to determine property boundary lines, the service life expectancy of any component, the cause of any condition, or compliance with codes or regulations. The inspection is not technically exhaustive and will not identify concealed or latent defects, nor does it determine the insurability, market value, or marketability of the property.

4. ENVIRONMENTAL AND ANCILLARY SERVICES

The COMPANY is not responsible for discovering or reporting on the presence or absence of mold or mildew, nor is it responsible for any damages arising from or related to mold or mildew. For all ancillary services (such as Thermal Imaging, Sewer Camera, or Mold/Air Quality/Asbestos/Lead testing), the CLIENT acknowledges these are limited tools and the COMPANY is not liable for damages or losses resulting from issues that were not identified during the inspection.

5. NOTICE OF DEFECTS

If the CLIENT becomes aware of any defects or deficiencies, they must notify the COMPANY in writing within 10 days of discovery. Before taking any corrective action, the CLIENT must give the

COMPANY a reasonable opportunity to investigate and address the issue.

6. LIMIT OF LIABILITY AND INDEMNIFICATION

In no event shall the liability of the COMPANY exceed the total fee paid for the inspection services. The COMPANY shall not be liable for consequential, incidental, or punitive damages. The CLIENT agrees to indemnify, defend, and hold harmless the COMPANY from and against any and all claims, liabilities, damages, losses, costs, and expenses (including reasonable attorney's fees) arising out of or related to the CLIENT's use of the inspection report or the services provided.

7. CONFIDENTIALITY

The COMPANY is committed to protecting the privacy of our clients and will maintain the confidentiality of all information disclosed during the inspection process. Information will not be shared with third parties without the CLIENT's explicit written consent, except as required by law or to relevant third-party vendors to assist in addressing identified issues.

8. GENERAL PROVISIONS

The CLIENT shall have no cause of action against the COMPANY after one year from the date of the inspection. Any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the COMPANY has its principal place of business. In the event that the CLIENT fails to prove any adverse claims against the COMPANY, the CLIENT agrees to pay all legal costs, expenses, and fees of the COMPANY in defending said claims. For any specific recommendation that is not followed, the CLIENT assumes all risks and shall hold the COMPANY harmless for any subsequently alleged defects or deficiencies.

BY ACCEPTING THIS INSPECTION REPORT, THE CLIENT AGREES TO THE TERMS, HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT.

About your inspector

J. Scott Osko
CONTRACTOR LEVEL INSPECTIONS



J. Scott Osko brings over three decades of hands-on experience to every inspection. As a veteran California General Contractor, his background spans the full spectrum of the building industry, including concrete tilt-up commercial structures, parking facilities, commercial build-outs, and residential projects ranging from custom homes to kitchen and bath renovations. Beyond his construction expertise, Scott previously owned and operated a building material supply company, providing him with a unique, comprehensive understanding of how materials perform and how they are correctly installed.

Major Achievements & Credentials

- 14,000+ Inspections Completed: Conducted structural evaluations on residential, commercial, retail, industrial, and multi-unit properties to assess damage and determine claim validity.
- Holds certifications from multiple inspection organizations.
- Former Nevada State Property Inspector.
- Former California contractor's license holder for a C-35 Lath and Plaster, State of California.
- Performs SB 326 and SB 721 compliance inspections.
- Completes property insurance inspections for major carriers.
- Performs foundation and structural inspections.
- Founded Echelon Inspection Professionals.
- Owned and operated a building material supply company.

STANDARDS OF PRACTICE FOR PROPERTY INSPECTION

INSPECTION COMPANY: J. SCOTT OSKO

1. OBJECTIVE AND SCOPE OF SERVICES

The objective of this inspection is to provide the Client with a professional, non-invasive, visual examination of the subject property to identify material defects observed on the date of the inspection. A material defect is a condition that has a significant adverse impact on the value of the property or poses an unreasonable risk to people.

- **Non-Exhaustive Nature:** The inspection is not technically exhaustive and is not intended to identify every possible issue or concern.
- **Limitation of Purpose:** The inspection is not a guarantee or warranty of future performance, habitability, or suitability for any specific purpose.
- **Property Status:** The inspection does not determine the market value, insurability, or the advisability of the purchase.

2. GENERAL EXCLUSIONS AND ANCILLARY SERVICES

The base inspection does not address environmental hazards; however, specialized testing is available upon request:

- **Base Exclusions:** The base inspection does not include testing for mold, asbestos, or lead-based paint. These are considered environmental hazards and are outside the scope of the non-invasive, visual, generalist inspection.
- **Ancillary Services:** The Inspection Company offers professional mold testing services. Additionally, the Company can facilitate or order lead-based paint and asbestos testing upon the specific request of the Client or a third party. These services are provided under a separate agreement and are not included in the standard inspection fee.
- **Other Exclusions:** The inspection does not address aesthetic/cosmetic issues, compliance with building codes, latent/concealed defects, or the presence of pests.

3. OPERATIONAL AND SAFETY PROTOCOLS

The Inspector and their associates reserve the absolute right to decline, refuse, or terminate any inspection activity that, in their professional opinion, constitutes an unsafe condition or poses a risk of property damage.

- **Safety Override:** If a genuine concern for safety arises, the Inspector shall refuse to proceed with that portion of the inspection.
- **Ladder Usage:** Inspection is limited to the use of a standard 12-foot ladder. The Inspector is not required to access any area or elevation that exceeds the safe reach of this equipment.

- **Roof Access:** The Inspector is prohibited from walking on, climbing onto, or physically traversing any roof surface. Roof assessment is limited to visual observation from the ground or eaves using a 12-foot ladder.
- **Attics and Crawl Spaces:** The Inspector is not required to enter attics or crawl spaces deemed unsafe or not readily accessible. This exclusion includes, but is not limited to, areas with suspected sewage, toxic hazards, pest or animal infestation, or dangerous environmental conditions.
- **Electrical Panels:** The Inspector will not remove, dismantle, or open electrical panel covers or dead fronts. Assessment is limited to a visual examination of the exterior and service entrance.
- **Obstructions:** The Inspector is not required to move personal property, furniture, carpeting, wall coverings, debris, or any items restricting visual inspection.
- **System Operation:** The Inspector is not required to operate any system that is shut down, non-functional, or does not respond to normal operating controls.
- **Code Compliance and Dimensioning:** The Inspector is not required to measure, verify, or certify compliance with local building codes, including, but not limited to, the size, spacing, or structural dimensions of foundation openings, attic access hatches, or crawl space access points. Assessment of such dimensions is beyond the scope of this non-invasive, visual inspection.

4. DETAILED SYSTEM INSPECTION PROTOCOLS

The Inspector shall visually examine the following, where readily accessible:

- **Structural/Foundation:** Visual inspection of visible framing and load-bearing elements. *Point of Contention:* The Inspector does not determine structural integrity, soil stability, or the adequacy of foundation anchoring.
- **Exterior Systems:** Visual inspection of wall cladding, siding, trim, windows, doors, stairs, balconies, and decks. *Point of Contention:* Inspection does not include a moisture intrusion analysis, testing of deck flashing, or assessment of subterranean drainage.
- **Roofing Systems:** Visual inspection of covering materials, flashing, gutters, and downspouts. *Point of Contention:* The Inspector does not verify the watertight integrity of flashing or the life expectancy of roofing materials.
- **Electrical Systems:** Visual inspection of the service entrance and interior fixtures. *Point of Contention:* The Inspector does not verify grounding or bonding adequacy, nor will they open panels to inspect internal wiring, circuit breakers, or bus bars.
- **Plumbing Systems:** Visual inspection of accessible supply and drain pipes. *Point of Contention:* The Inspector does not verify the absence of leaks in walls/floors, nor do they perform pressure testing, sewer scope, or water quality testing.
- **Heating and Cooling:** Visual inspection of permanently installed HVAC equipment. *Point of Contention:* The Inspector does not verify the heat exchanger integrity, refrigerant levels, or the efficiency/capacity of the system.
- **Interior:** Visual inspection of doors, windows, stairways, and permanently installed cabinetry. *Point of Contention:* The Inspector does not verify the functionality of non-built-in appliances, security systems, or low-voltage wiring.

5. REPORTING, LIABILITY, AND INDEMNIFICATION

- **Written Reporting:** All findings shall be documented in a formal, written report.
- **Recommendation Protocol:** If the Inspector recommends further evaluation by a specialized professional, the Client agrees that this action is the responsibility of the Client, and the Inspection Company is not liable for the outcome of those subsequent evaluations.
- **Liability Cap:** Total liability for the Inspection Company shall be limited to the total fee paid for the inspection services.
- **Statute of Limitation:** Any cause of action against the Inspection Company must be initiated within one year from the date of the inspection.
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See website or call for terms, conditions and limitations:

<https://www.echeloninspection.com/sop-terms>

(888) 673-7791

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Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard or more expensive deficiencies to correct. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of this report, as the summary page alone does not explain all the issues found at the time of inspection. Further contractor evaluation is recommended for any item written in red text in this report. Further evaluation often times will allow a contractor to find additional items needing repair beyond the scope of the home inspection. Failure to further evaluate any item as recommended releases us of from liability.

Interior

Page 14 Item: G Fireplaces **G.4. Fireplace dirty, recommend cleaning by a CSIA chimney inspector/sweep**

Page 15 Item: H Electrical **H.3. Three prong outlets not grounded, recommend repair or replace in areas throughout**
H.4. Loose outlets, recommend repair or replace | Game room

Bedrooms

Page 17 Item: B Electrical **B.1. Nonmetallic cable (NM)/Romex wiring exposed, recommend repair or replace | 2nd floor North bedroom**

Laundry area

Page 27 Item: E GFCI Protection **E.1. Laundry outlet(s) have been upgraded with no GFCI protection (upgrades must meet new electrical requirements), recommend further evaluation**

Electrical/Gas service

Page 35 Item: B Sub Panel **B.1. Zinsco/Sylvania/Federal Pacific/Stab-Lok electrical panel present, known to be problematic, recommend further evaluation**

Page 36 Item: C Panel Wiring **C.5. Cloth sheathed wiring method present, an upgrade is highly recommended**
C.6. Wire insulation over-stripped exposing too much bare wire, recommend further evaluation

Garage/Carport

Page 42 Item: E Firewall **E.1. Holes present in fire wall, recommend repair or replace to retain integrity of fire separation**
E.2. Missing fire rated materials, recommend repair or replace to retain integrity of fire separation

Page 43 Item: F Automotive Doors **F.3. Cracked in areas, recommend repair or replace**

Exterior areas

Page 46 Item: B	Exterior cladding & trim	B.2. Flashing encapsulated at upper balcony deck, recommend further evaluation B.3. Missing wall to balcony flashing, recommend repair or replace North side of structure
Page 47 Item: C	Chimney	C.1. Step cracking present, recommend repair or replace C.2. Improper grout tooling and loose grout present at chimney, recommend repair or replace

Foundation

Page 51 Item: I	Plumbing	I.6. Irregular installation/materials/workmanship, recommend further evaluation In areas I.7. Air admittance valve present, recommend repair or replace Under structure I.8. Open vent, recommend repair or replace Under structure
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Grounds

Page 53 Item: B	Balcony Deck & Railings	B.5. Cracking/exposed seams, recommend maintenance B.6. Ponding water/evidence of ponding, deck not draining properly, recommend further evaluation B.7. Trees affecting balcony, posts not plum or true, recommend further evaluation
Page 55 Item: D	Electrical	D.5. Fixture did not operate, recommend repair or replace East side of structure
Page 56 Item: F	Exterior Plumbing	F.2. Polybutylene plastic plumbing present, we recommend a complete water distribution system evaluation in areas
Page 56 Item: G	Main Water Valve	G.1. Improper shut off valve using gas valve for shut off, recommend repair or replace
Page 57 Item: K	Planters	K.2. Tree(s) too close to structure, consult local authority before removal
Page 58 Item: L	Grade	L.2. Grade slopes towards structure, recommend further evaluation balcony L.3. Grade/Driveway slopes towards garage, potential for moisture intrusion, recommend further evaluation West of structure

Roof

Page 59 Item: A	Roof	A.4. Vegetation touching roof areas, recommend removing debris and trimming vegetation away from structure
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Sewer camera inspection

Page 61 Item: A Conditions of Sewer
Line

A.1. Sewer line is older/deteriorated, recommend contacting a **C-36) Plumbing Contractor** for pricing and available remedies for repair/replace

A.2. Sewer line sludge present, recommend sewer line hydro jet, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace

A.3. Clogging found in sewer line, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace

A.4. Debris observed in sewer line, recommend sewer line hydro jet, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace

A.5. Standing water was found in areas of the sewer line, probable cause; settling/improper slope/fall, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace

A.6. Pipe separation/steps observed in sewer line, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace

Inspection information

A. Inspection performed

Standard property inspection

Sewer Line Inspection

Contractor Inspection

B. Structure Information

Single Family Residence

Front of structure faces West

Wood framed with stucco/siding

Water source to this structure is public

All utilities on at time of inspection

Occupied structure, personal items throughout the structure may prevent access or view to some interior and/or exterior areas. Personal property, furniture and moving boxes are not moved and will prevent a complete inspection and limit visible access to some areas.

C. Who is present at the inspection

Buyer present during inspection

Buyer's agent present during inspection

Owner not present during inspection

D. Important Notes

Evidence of remodeling/additions or altered areas, consult with your realtor/see seller disclosures and check that all building permits that all additions/alterations comply with local authority building code

Due to the type of plumbing found, we recommend that you hire a plumber to perform a more exhaustive plumbing inspection during your contingency period. Always use a licensed (C36) Plumbing Contractor.

E. Exclusions & Limitations

Yard lighting, low voltage lighting/equipment, central vacuuming, alarm systems, phone/data/cable TV, audio/video/intercom systems, water treatment equipment, private wells/equipment and electrical, retractable awning(s)/patio cover(s), ponds and fountains, septic tanks/systems, deep in ground pond(s), ADA compliance. Inspection Housing tract fencing/walls, Home owner association fencing/walls may be commented on by the inspector as a courtesy, but are excluded from this inspection. Consult your Association/Local authority regarding responsibility. INSPECTION BOUNDARIES: Inspection is limited to 100 feet from structure (unless otherwise noted).

*****See NACHI S.O.P. <https://www.nachi.org/sop>**

ADDITIONAL EXCLUSIONS/OUT STRUCTURES:

Interior

During the interior inspection, we'll examine key areas like floors, walls, and ceilings. We'll also check the fireplace, smoke and carbon monoxide detectors, and the safety of stairs and railings. A representative number of doors, windows, electrical outlets, and lighting fixtures will be inspected. Please note that personal items may obstruct our view. This section provides an overview of the home's structural materials and conditions. For room-specific details, see the individual bedroom, bathroom, kitchen, and laundry sections.

A. Walls

*The inspector will identify major defects within the structure, minor cosmetic details are excluded from this inspection, however, the inspector may report on them as a courtesy * Small cracking, patching, blemishes and fastener/drywall taping/plaster imperfections are common to most structures * Small cracking is very common. It can be caused by many factors, such as: settling, wind, curing/material application, temperature and earthquake movement*

- CONSTRUCTION MATERIALS:**
- Drywall
 - Plaster
 - Wood/Wood paneling/Wood planking

- OBSERVATIONS:**
- A.1. Added/remodeled/altered Interior wall areas, consult local authority/check for permits
 - A.2. Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed, typical for age and material



Added/remodeled/altered Interior wall areas, consult local authority/check for permits

B. Ceilings

*The inspector will identify major defects within the structure, minor cosmetic details are excluded from this inspection, however, the inspector may report on them as a courtesy * Small cracking, patching, blemishes and fastener/drywall taping/plaster imperfections are common to most structures * Small cracking is very common. It can be caused by many factors, such as: settling, wind, curing/material application, temperature and earthquake movement*

CONSTRUCTION MATERIALS:

- Drywall
-

OBSERVATIONS:

B.1. Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed, typical for age and material

C. Floors

*The inspector will identify major defects within the structure, minor cosmetic details are excluded from this inspection, however, the inspector may report on them as a courtesy * Small cracking, patching, blemishes, scratches, dirty areas, worn tile/grout and slightly loose carpet imperfections are considered cosmetic*

FLOORING MATERIALS:

- Tile
 - Vinyl/Vinyl Tile
 - Wood/Hardwood
 - Engineered wood
-

OBSERVATIONS:

C.1. Normal wear for age

D. Windows

*A representative number of windows are tested during this inspection * Windows that are not visible/readily accessible are excluded from this inspection * Tint/film over windows is not inspected. Tint/film can prevent an accurate inspection of windows and glass doors * Shutters/blinds/coverings are not tested or inspected*

WINDOW MATERIALS:

- Double pane vinyl framed
 - Double pane aluminum framed
-

WINDOW TYPE(s):

- Fixed frame or stationary type (does not open or close)
 - Horizontal sliding type (one window slides while the other remains stationary)
 - Vertical sliding type (one window slides while the other remains stationary)
-

OBSERVATIONS:

D.1. This structure has a combination of newer and older windows, recommend upgrading older windows

D.2. Difficult to operate or slide, recommend repair or replace | Family room



Difficult to operate or slide, recommend repair or replace | Family room

E. Doors

*A representative number of doors will be tested at this inspection * Doors that are not visible/readily accessible are excluded from this inspection*

OBSERVATIONS:

- E.1. Operated at time of inspection
- E.2. Normal wear for age
- E.3. Gaps around side/top/bottom at areas, recommend repair or replace

F. Sliding Glass Door(s)

*Sliding glass doors that are not visible/readily accessible are excluded from this inspection * If present, tint/film over windows in not inspected. Tint/film can prevent an accurate inspection of windows and glass doors * Shutters/blinds/coverings are not tested or inspected*

OBSERVATIONS:

- Double pane Aluminum framed

OBSERVATIONS:

- F.1. Slider operated at the time of the inspection
- F.2. Worn door with loose/worn hardware/frames/rollers/tracks, recommend general door maintenance/repair/weather tight service
- F.3. Dirty tracks, recommend general door maintenance/repair/weather tight service

G. Fireplaces

*The fireplace is visually inspected * The fireplace is not lit * The flue cavity of the fireplace is excluded * Inquire with a certified chimney sweep for a complete chimney inspection*

FIREPLACE LOCATION:

- Family room
- Bedroom

FIREPLACE TYPE:

- Mason built
- Pot belly style wood burning stove

OBSERVATIONS:

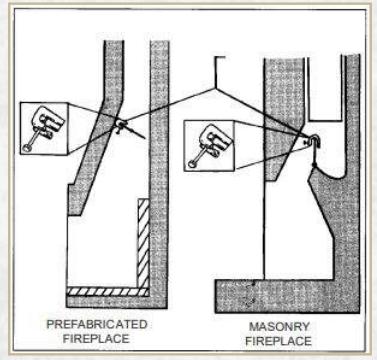
- G.1. Mortar is cracked/missing, recommend repair or replace
- G.2. Gas line not tested
- G.3. No damper stop clamp, required for cosmetic gas logs, fire-glass or other cosmetic fire system that uses gas at the primary fuel
- G.4. Fireplace dirty, recommend cleaning by a CSIA chimney inspector/sweep**



No damper stop clamp, required for cosmetic gas logs, fire-glass or other cosmetic fire system that uses gas at the primary fuel



Fireplace dirty, recommend cleaning by a CSIA chimney inspector/sweep



H. Electrical

A representative number of receptacles and switches are tested during this inspection * Outlets/switches that are not visible/readily accessible are excluded from this inspection

OBSERVATIONS:

- H.1. Structure has a combination of newer and older outlets/switches
- H.2. Some switches have unknown function, not inspected, inquire with seller regarding operation
- H.3. Three prong outlets not grounded, recommend repair or replace in areas throughout
- H.4. Loose outlets, recommend repair or replace | Game room



Three prong outlets not grounded, recommend repair or replace in areas throughout

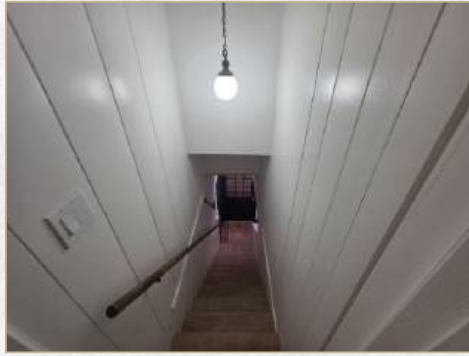


Loose outlets, recommend repair or replace | Game room

I. Stairs & Handrails

OBSERVATIONS:

- I.1. Functional at time of inspection



J. Closets

OBSERVATIONS:

J.1. This structure has a combination of newer and older closets

J.2. Large holes or cracks observed, recommend repair or replace | Closet/Cabinet



Large holes or cracks observed, recommend repair or replace | Closet/Cabinet

K. Cabinets

OBSERVATIONS:

K.1. This structure has a combination of newer and older cabinets

L. Door Bells

OBSERVATIONS:

L.1. Wi-Fi enabled smart doorbell/camera/intercom//Nest/Ring type, consult seller for operation

M. Carbon Monoxide Detectors

*We recommend placing carbon monoxide detector in hallways to adjoining bedrooms and one per level. Read the manufactures specifications for proper placement * Carbon monoxide detectors are tested with the test button only*

OBSERVATIONS:

M.1. Operational at time of inspection

Bedrooms

When inspecting bedrooms, we prioritize the structural system, carefully examining walls, ceilings, and floors for any signs of damage or issues. We also ensure doors and windows are functioning correctly. Fire safety is another key concern, and we'll assess relevant aspects within the bedrooms. Please note that personal items may obstruct our view and limit the scope of our inspection, as we don't move them. For comprehensive details on the interior's structural materials, common conditions, and construction specifics, please consult the interior section of this report.

A. Bedrooms

*Bedroom locations are approximate. *See interior section for structure material descriptions, common conditions and structure details*

BEDROOM LOCATIONS:

- 1st floor
- 2nd floor North
- 2nd floor South



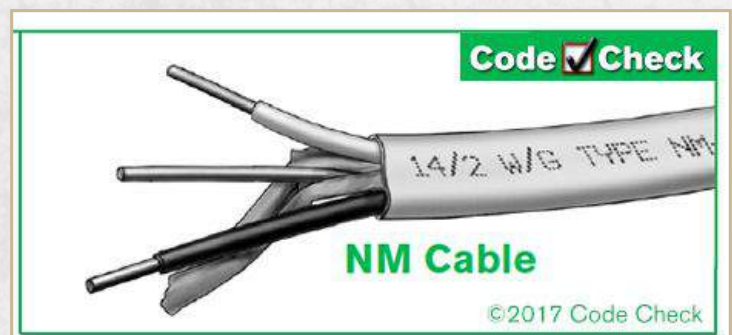
B. Electrical

OBSERVATIONS:

B.1. Nonmetallic cable (NM)/Romex wiring exposed, recommend repair or replace | 2nd floor North bedroom



Nonmetallic cable (NM)/Romex wiring exposed, recommend repair or replace | 2nd floor North bedroom



C. Closets

OBSERVATIONS:

C.1. Stains/unfinished area(s), tested dry at time of inspection, monitor area for moisture | South bedroom



Stains/unfinished area(s), tested dry at time of inspection, monitor area for moisture | South bedroom

D. Smoke Detectors

*If smoke detectors are out of reach they are not tested * All battery operated detector should be mounted within reach for maintenance * We recommend placing smoke detectors in all hallways to adjoining bedrooms, one per level, one in every bedroom and one located in the same room as the fireplace * Smoke detectors are tested with the test button only*

OBSERVATIONS:

D.1. Operational at time of inspection

Bathrooms

Bathrooms are complex spaces, housing a variety of plumbing fixtures like tubs, showers, toilets, and sometimes bidets. Due to the concentration of plumbing, they are particularly susceptible to moisture-related issues. Leaks, even small ones, and excessive humidity can lead to significant damage, including mildew growth, peeling wallpaper or paint, and even structural problems over time. The inspector will thoroughly examine all visible and accessible areas, noting any signs of leaks, moisture damage, or plumbing issues. However, it's important to understand that some problems may be concealed within walls or beneath flooring, making them undetectable during a visual inspection. For detailed information on the structural materials, common conditions, and construction details of the interior, please refer to the dedicated interior section of this report.

A. Bathrooms

*Bathroom locations are approximate *See interior section for structure material descriptions, common conditions and structure details.*

BATHROOM LOCATIONS:

- 1st floor
- 2nd floor



B. Counters

OBSERVATIONS:

- B.1. Counter has normal wear for age
-

C. Cabinets

OBSERVATIONS:

- C.1. Normal wear for age of material
-

D. Sinks

*Sinks are not filled to test overflow openings/drains, due to the possibility of leaks * Consult a plumbing contractor if you have particular concerns*

OBSERVATIONS:

- D.1. Fixture operated at the time of the inspection
- D.2. Normal wear at fixture/sink for age



E. Mirrors

OBSERVATIONS:

E.1. Mirror functional with normal wear for age

F. Bath Tubs

*Bath tubs are not filled to test overflow openings/drains, due to the possibility of leaks * Consult a plumbing contractor if you have particular concerns*

OBSERVATIONS:

- F.1. Fixtures/tub tested and operating at the time of the inspection
- F.2. Fixtures/tub had normal wear for age at the time of the inspection
- F.3. Caulk maintenance needed at wall to fixture juncture (gaps present)



G. Showers

OBSERVATIONS:

- G.1. Fixture was tested and operating using normal controls
- G.2. Fixture had normal wear for age of material
- G.3. Caulk maintenance needed at wall to fixture juncture (gaps present)



H. Shower walls & Floor pan

SHOWER MATERIALS:

- Tile and grout

OBSERVATIONS:

H.1. Worn tile/grout, typical for age, recommend routine grout and sealer maintenance

I. Toilets

OBSERVATIONS:

- I.1. Tested and operational at time of inspection using normal fixture controls, flush test performed
- I.2. Toilet has normal wear for age at the time of the inspection
- I.3. Recommend caulking/maintenance at toilet to floor connection

J. Plumbing

OBSERVATIONS:

- J.1. Operated normally at time of inspection
- J.2. Combination of worn/older and newer valves/supply lines/drain pipes present, recommend upgrading all to newer style



K. GFCI Protection

*Bathroom GFCI protection is extremely important and may, or may not have been required when structure was built. If bathroom GFCI protection is not present during this inspection, we recommend contacting an electrical contractor for installation * The inspector is not required to trip master GFCI from every bathroom outlet in order to determine if they have proper protection*

OBSERVATIONS:

K.1. **GFCI** not grounded, typical for old Ungrounded system pre-1965



GFCI not grounded, typical for old Ungrounded system pre-1965

L. Exhaust Fans

*Exhaust fans are tested using normal controls, the inspector does not perform tests to determine how well the unit performs * The inspector cannot predict the remaining life of exhaust fans*

OBSERVATIONS:

- L.1. Operated at time of inspection
- L.2. Normal wear for age

M. Heating

OBSERVATIONS:

- M.1. Central Heating (See heating section in this report for more information)

Kitchen

The Kitchen inspection is limited. The testing of appliances is a courtesy and not a requirement. This inspection will not determine the efficiency/performance or life of appliances. Appliances are tested using normal controls for basic operation and functionality. Non built-in appliances and built-in refrigerators are excluded from this report. *See interior section for structure material descriptions, common conditions and structure details.

A. Counters

OBSERVATIONS:

- A.1. Counter has normal wear for age
-

B. Cabinets

OBSERVATIONS:

- B.1. Missing drawer/front, recommend repair or replace | Above refrigerator
 - B.2. Worn cabinets and hardware, typical for age
 - B.3. Loose hardware, recommend repair or replace
-

C. Sinks

OBSERVATIONS:

- C.1. Fixture operated at the time of the inspection
- C.2. Loose fixture/handles, recommend repair or replace



Loose fixture/handles, recommend repair or replace



D. Dishwashers

*The dishwasher inspection is visual only * Water pumps and hoses are not inspected * The inspector does not determine the remaining life, or how well the dishwasher performs * The inspector runs one fill cycle and one drain cycle , all other functions are excluded*

OBSERVATIONS:

- D.1. Tested and operational at time of inspection using normal controls
- D.2. Dishwasher has normal wear for age



E. Garbage Disposals

*The garbage disposal inspection is visible only * The inspector does not determine the remaining life, or how well the garbage disposal performs*

OBSERVATIONS:

- E.1. Tested and operational at time of inspection using normal controls
- E.2. Normal wear for age

F. Plumbing

OBSERVATIONS:

- F.1. Operated normally at time of inspection
- F.2. Kitchen has a combination of worn/older and newer valves/supply lines/drain pipes present, recommend upgrading all to newer style



G. Cooktop/Range-Oven

*Ovens and range/cooktops are tested for basic heating functionality, using the bake feature, and burner knobs only * The inspector does not determine the remaining life, or how well the unit performs*

COOKTOP/RANGE-OVEN TYPE:

- Gas supplied unit

OBSERVATIONS:

- G.1. Center element/burner not operating, recommend repair or replace
- G.2. Tested and operational at time of inspection using normal controls



Center element/burner not operating, recommend repair or replace

H. Microwaves

Microwave ovens are tested using a microwave tester or damp sponge/cloth only * The inspector does not determine the remaining life, or how well the unit performs

OBSERVATIONS:

- H.1. Tested and operational at time of inspection using normal controls
- H.2. Normal wear for age



I. Exhaust Vents

Exhaust fans are tested using normal controls, the inspector does not perform tests to determine how well the unit performs * The inspector cannot predict the remaining life of exhaust fans

- EXHAUST FAN TYPE:*
- Microwave with fan

OBSERVATIONS:

- I.1. Tested and operational at time of inspection using normal controls

J. Electrical

OBSERVATIONS:

- J.1. Outlets/switches had normal wear for age
- J.2. Three prong outlets not grounded, recommend repair or replace

K. GFCI Protection

Kitchen GFCI protection is extremely important and may, or may not have been required when structure was built. If kitchen GFCI protection is not present during this inspection, we recommend contacting an electrical contractor for installation * The inspector is not required to trip master GFCI from every kitchen outlet in order to determine if they have proper protection

OBSERVATIONS:

- K.1. GFCI not grounded, typical for old Ungrounded system pre-1965



GFCI not grounded, typical for old Ungrounded system pre-1965



Laundry area

The laundry area is visually inspected to assess its general condition. This includes a visual check of water and gas supply valves, and electrical and dryer venting. Please note that washer and dryer units themselves are not inspected or tested as part of this home inspection. We'll look for any obvious signs of leaks, damage, or improper venting. However, we do not test the operational functionality of the appliances. For detailed information regarding structural materials, common conditions, and construction specifics within the laundry area and throughout the rest of the home, please refer to the interior section of *this report*.

A. Laundry

**See interior section for structure material descriptions, common conditions and structure details*

LAUNDRY ROOM LOCATION:

- See garage area



B. Plumbing

*The plumbing supply valves are visually inspected only. Valves are not opened/closed to test * The laundry drain is not tested * If present, washers and dryers are not tested or inspected*

OBSERVATIONS:

- B.1. Visible valves/supply lines/drain pipes/hoses are in a normal condition for their age

C. Gas Valve

OBSERVATIONS:

- C.1. Worn valve, recommend upgrading to newer style valve

D. Electrical

OBSERVATIONS:

- D.1. Loose/worn outlets/switches, typical for age consider upgrading

E. GFCI Protection

*Laundry room GFCI protection is extremely important and may, or may not have been required when structure was built. If Laundry room GFCI protection is not present during this inspection, we recommend contacting an electrical contractor for installation * The inspector is not required to trip master GFCI from every Laundry room outlet in order to determine if they have proper protection*

OBSERVATIONS:

- E.1. Laundry outlet(s) have been upgraded with no GFCI protection (upgrades must meet new electrical requirements), recommend further evaluation**



Laundry outlet(s) have been upgraded with no GFCI protection (upgrades must meet new electrical requirements), recommend further evaluation

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles

Code Check **GFCIs**

Receptacle Type Blank face Circuit breaker

©2017 Code Check

The image shows three different types of GFCI (Ground Fault Circuit Interrupter) devices. From left to right: a standard white duplex receptacle with a 'GFCI' label and a 'TEST' button; a 'blank face' device which is a white duplex receptacle without a faceplate; and a black circuit breaker with a 'GFCI' label and a 'TEST' button. The text 'Code Check' and 'GFCIs' is at the top. Below each device is a label: 'Receptacle Type', 'Blank face', and 'Circuit breaker'. A small copyright notice '©2017 Code Check' is at the bottom right.



Heating/Air conditioning

Your home's HVAC system is its climate control center, designed to keep you comfortable while ensuring good air quality and minimizing energy costs. Typically powered by electricity and natural gas, it can also use other sources like propane or solar.

We'll test the heating and air conditioning using the thermostat to ensure they're functioning. However, for a detailed evaluation of the system's efficiency and long-term health, we recommend consulting a licensed HVAC contractor. This will provide a more comprehensive assessment and help you understand any potential maintenance or repair needs.

A. Heater

*The heater is visually inspected, heater components are not dismantled or removed * The inspector does not determine the presence of a cracked heat exchanger * This inspection does not determine adequacy or sizing requirements of heating or Air conditioning * We recommend maintenance and general service of the HVAC system prior to use*

HEATER LOCATION(s):

- Under structure/crawlspace
-

HEATER TYPE:

- Gas fired furnace
-

OBSERVATIONS:

- A.1. Cover not removed, contents not inspected
- A.2. Operated at time of inspection
- A.3. Visible areas of unit have normal wear for age at the time of the inspection, recommend standard service/maintenance



B. Venting

OBSERVATIONS:

- B.1. The visible areas of the vent have normal wear for age at time of inspection
-

C. Air Supply

OBSERVATIONS:

- C.1. Visible areas have normal at time of inspection
-

D. Gas supply Valves and Piping

OBSERVATIONS:

- D.1. Normal wear at time of inspection

E. Thermostat(s)

THERMOSTAT LOCATION(s):

- Hallway

OBSERVATIONS:

E.1. Digital type present, functional at time of inspection



F. Filters

*We recommend changing or cleaning filters every 3 to 6 months, depending on system usage * If present, electronic air filters/Ultraviolet light treatment systems are not inspected*

FILTER LOCATION:

- Interior
- Filter located below heater in a slot cut into the frame

OBSERVATIONS:

F.1. Filter is worn/dirty, recommend changing or cleaning filter (if washable)

G. Registers

*Adjustable louvers in registers are not tested for functionality * A representative number of registers are tested for air flow during the inspection*

OBSERVATIONS:

- G.1. Structure has a combination of older and newer registers, recommend upgrading older registers
- G.2. Air flow weak / moderate temperature differences measured at some registers when operating the HVAC system, recommend system and ducting evaluation
- G.3. Temperature at Air Return:75°
- G.4. Average Heat register temperature:130°

H. Refrigerant Lines

OBSERVATIONS:

H.1. Normal wear for age at the time of inspection, recommend periodic maintenance of insulation

I. Air Conditioning unit(s)

*The compressor is visually inspected, components are not dismantled or removed * This inspection does not determine adequacy or sizing requirements of heating or Air conditioning * We recommend maintenance and general service of the HVAC system prior to use*

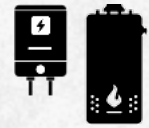
A/C TYPE & LOCATION:

- East side of structure, electric unit

OBSERVATIONS:

- I.1. Air conditioning not tested due to the exterior temperature and could likely cause damage to the unit
- I.2. A/C unit(s) at this structure appear newer/not original to structure, consult local authority/check for permits
- I.3. Visible areas of unit have normal wear for age, recommend seasonal maintenance





Water heater

A water heater is any appliance that heats potable water and supplies heated water to the distribution system. The inspector shall inspect items such as: the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing.

A. Water Heater

The water heater is visually inspected. The water heater components are not removed to inspect flame or burner conditions * The inspector cannot predict the remaining water heater life * If present, solar water heating systems are excluded from this inspection * If present, electric water heater elements are not tested for continuity

WATER HEATER CAPACITY:

- Tankless water heater present (not original to this structure), check all installation permits to ensure that this unit was installed to local authority code and manufacturer specifications

WATER HEATER LOCATION:

- Under the structure

OBSERVATIONS:

- A.1. Tankless gas unit operated at the time of the inspection
- A.2. Visible areas of unit have normal wear for the age at the time of the inspection



TABLE 101 - GAS PROTECTIVES (ICC-ES E-1014, IMC EPC 101.1-101)

1. Minimum height is 4 feet from floor to top of vent pipe.
2. Drain appliance 1/8" to 3/16" in 1/4" location and slope downward.
3. Longer length vent pipe than required length for tank water heater.
4. Longest length vent pipe shall be 100 feet for most venting methods for all models.
5. Select one for pipe size depending on venting method used.

TABLE 101 - GAS PIPING (ICC-ES E-1014, IMC EPC 101.1-101)

Pipe	PSI (lb./sq. in.)									
	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"	3"	4"	6"
Gas	100	100	100	100	100	100	100	100	100	100
Water	100	100	100	100	100	100	100	100	100	100

B. Exhaust vent

OBSERVATIONS:

- B.1. Normal wear for age at the time of inspection



C. Plumbing

*If plumbing insulation is present, the inspector will not be able to fully inspect plumbing * If present, recirculating pumps/timers are visually inspected and not tested for functionality * If present, Expansion tanks are visually inspected only*

CONSTRUCTION MATERIALS:

- Copper

OBSERVATIONS:

C.1. Normal wear for age

D. Temperature Pressure Release Valve

The TPR valve is visually inspected. The TPR valve is not opened or tested during the inspection

OBSERVATIONS:

D.1. Normal wear for age at time of inspection

E. Overflow Line

Approved overflow line/discharge pipe materials include: Copper-no threaded end, Galvanized steel-no threaded end, Stainless steel-no threaded end, Polyethylene, PEX and CPVC

CONSTRUCTION MATERIALS:

- **PVC** (not an approved material for overflow line)

OBSERVATIONS:

E.1. PVC is an improper material for this overflow line due to its potential for melting, recommend repair or replace, upgraded to an approved material immediately



F. Water Heater Temperature

OBSERVATIONS:

F.1. 115 F (Average or approximate)

G. Seismic Strapping

*Strapping Requirement: 1-1/2" steel straps 16 gauge, One strap located 1/3 down from the top of the tank, One strap located 1/3 up from the bottom of the tank * If present, we recommend upgrading canvas or nylon strapping to steel strapping * We recommend that strapping wrap the water heater, and blocking fastened between any gaps between walls * If a 75 gallon or larger tank is present, we recommend 3 straps*

OBSERVATIONS:

G.1. Tankless water heater present, appears to be mounted to wall properly

H. Gas Supply Valve and Piping

OBSERVATIONS:

H.1. Normal wear at time of inspection

H.2. Sediment trap present

I. Combustion Air

OBSERVATIONS:

- I.1. Combustion air appears to be adequate at the time of the inspection



Electrical/Gas service

Electrical panels are boxes that house circuit breakers, which are safety devices that stop the electrical current if it exceeds the safe level for some portion of the home electrical system. Always consult an electrical contractor for a complete evaluation of your electrical system. Gas systems/piping distribute gas/propane to appliances throughout the structure and are visually inspected only. Always contact your gas supplier to perform a safety check all fuel gas systems/appliances prior to purchase and occupancy.

A. Main Panel & Meter Location

*Electric panels are visually inspected only, the inspector is not required to remove the panel front covers. The inspector does not perform load calculations or determine electrical service adequacy * Poor installation or the improper use of materials cannot be determined by the inspector * If solar electrical systems are present, they are not inspected and are excluded from this inspection * We recommend that you contact the solar energy provider for information and inspection*

MAIN PANEL/METER LOCATION:

- South side of the structure
-

OBSERVATIONS:

A.1. Worn/weathered panel, typical for age and weather exposure



B. Sub Panel

PANEL LOCATION:

- Interior wall
 - Clothes closet, (possible hazard), recommend a licensed electrician to evaluate
 - Under structure
-

OBSERVATIONS:

B.1. Zinsco/Sylvania/Federal Pacific/Stab-Lok electrical panel present, known to be problematic, recommend further evaluation



Zinsco/Sylvania/Federal Pacific/Stab-Lok electrical panel present, known to be problematic, recommend further evaluation



Missing screws at closet



C. Panel Wiring

*Wiring types cannot always be determined due to wire covering/insulator jacket covering wires entering breakers * Areas where wiring obstructs the general views are not inspected, wiring is not moved*

OBSERVATIONS:

- C.1. Panel has a combination of newer and older wiring
- C.2. Wiring type: copper
- C.3. Wiring method: non-metallic sheathed cable (romex)
- C.4. Ungrounded system, typical for vintage of home, recommend upgrade to grounded type system
- C.5. Cloth sheathed wiring method present, an upgrade is highly recommended
- C.6. Wire insulation over-stripped exposing too much bare wire, recommend further evaluation



Wire insulation over-stripped exposing too much bare wire, recommend further evaluation



Cloth sheathed wiring method present, an upgrade is highly recommended



Cloth sheathed wiring method present, an upgrade is highly recommended

D. Breakers

Breakers are visually inspected, the inspector does not perform electrical stress tests to determine proper functionality
* If the structure is occupied, the inspector will not test GFCI or AFCI breakers, as doing so would de-energize circuits and interrupt power to equipment

OBSERVATIONS:

D.1. Worn/old breakers, may require replacement at any time, recommend repair or replace | Sub panels

E. Breaker Amp Capacity

OBSERVATIONS:

E.1. 100 amp

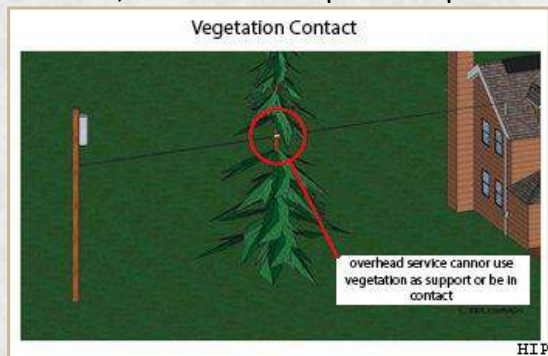
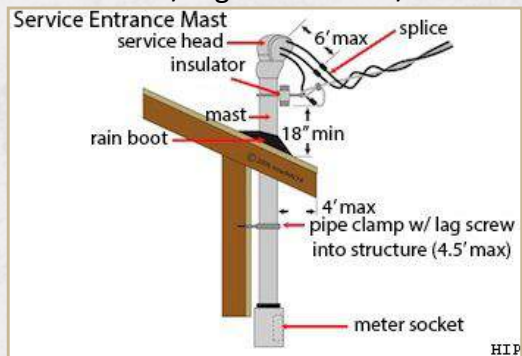


F. Cable Feeds

OBSERVATIONS:

F.1. Overhead, worn/weathered, maintenance recommended

F.2. Trees/vegetation close/in contact with service entrance, recommend repair or replace



G. Gas Valve, Meter & Piping

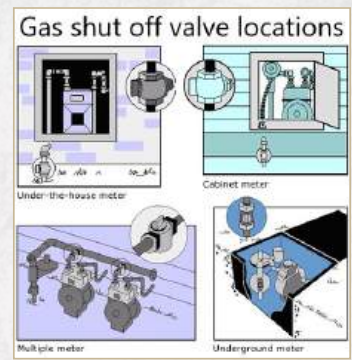
*The inspector does not determine if gas/fuel piping is protected in the ground * Exterior/fuel lines, fire pits and barbecues are excluded from this inspection * Gas/fuel supply valves are not tested or opened/closed during the inspection * If CSST gas lines are present, the inspector cannot determine if they are properly grounded/bonded. Always check for installation permits/consult an electrical contractor for further evaluation * IMPORTANT * We recommend that you contact your gas company during your contingency period and prior to occupancy for a gas company check/inspection*

METER/VALVE LOCATION & INFORMATION:

- South side of structure
- No seismic safety valve present, recommend installation for increased safety

OBSERVATIONS:

- G.1. Natural gas present
- G.2. Worn meter/valve/piping, typical for age





Attic area

Your attic is like your home's 'breathing' space. This report covers our inspection of accessible attics, focusing on insulation and vapor barriers, which are vital for energy efficiency and preventing moisture damage. We also noted any missing insulation. Inspectors check insulation, vapor barriers, and ventilation in accessible attic spaces. Proper ventilation prevents moisture, mold, and rot. This inspection ensures your attic is well-insulated and ventilated for a healthy, efficient home.

A. Attic Access

*The attic inspection is generally limited due to many factors, including: attic opening size, limited space/height, missing service access/platform or proper walking boards, wires or electrical, plumbing, ducting, personal items and high temperatures * The inspector does not determine the presence of hazardous materials, including asbestos or lead paint in any part of the structure. Please read the agreement included in this report * The inspector cannot determine if rodents, birds or pests are present or active. If you have particular concerns, we recommend contacting a pest control company to evaluate*

ATTIC LOCATION:

- Interior hallway
-

ATTIC INSPECTION INFORMATION:

- Attic was partially visible/inspected, some areas not accessible or visible due to access limitations
-

OBSERVATIONS:

- A.1. Access door is dirty with cosmetic blemishes present
-

B. Structure

*We highly recommend that you obtain a structural pest control inspection * The inspector does not determine the presence of/damage caused by wood destroying organisms*

OBSERVATIONS:

- B.1. Conventional framing present, normal wear at time of inspection, consult termite report
- B.2. Cracking small at wood members, typical for age
- B.3. Evidence of past/present moisture entering, dry at time of the inspection, *see the roof section for conditions and repair or replace recommendations



*Evidence of past/present moisture entering, dry at time of the inspection, *see the roof section for conditions and repair or replace recommendations*

C. Insulation

The inspector does not determine the R-value/efficiency of insulation

INSULATION TYPE:

- Fiberglass batts with kraft paper facing
-

INSULATION DEPTH:

- 8-10 inches
-

OBSERVATIONS:

- C.1. All visible insulation is worn/older/dirty, typical for the age of the structure
 - C.2. Evidence of rodent/bird/pest activity in the attic, recommend Pest Control to further evaluate
 - C.3. Loose/displaced/missing insulation in areas, recommend repair/replacement as needed for best efficiency
-

D. Ventilation & Vent Screens

*The inspector does not calculate/determine the attic ventilation requirements * Consult your local authority/licensed contractor to provide you with accurate ventilation calculations and requirements*

OBSERVATIONS:

- D.1. Existing ventilation appeared to be adequate on the day of the inspection
-

E. Exhaust Vents

OBSERVATIONS:

- E.1. Visible vents are older and worn, typical for the age of the structure
-

F. Duct Work

The inspector cannot determine the efficiency of ducting, or if the ducting layout/system design is efficient or properly designed

OBSERVATIONS:

- F.1. All visible/accessible duct areas have normal wear for age at the time of the inspection
-

G. Electrical

*The inspector does not test or inspect temperature sensors or mechanical fans * Most attic electrical is generally not visible * If wiring has been added/altered, check for permits/consult an electrical contractor to ensure electrical installation/materials comply with building code*

OBSERVATIONS:

- G.1. Electrical has been added/remodeled/altered, recommend a C10 Electrical Contractor to verify proper installation/consult local authority/check for permits
- G.2. Attic has a combination of newer and older wiring



H. Plumbing

*Many areas of the attic plumbing are generally not visible * If plumbing has been added/alterd, check for permits/consult a plumbing contractor to ensure plumbing installation/materials comply with building code * If present, fire sprinklers systems are excluded from this inspection*

OBSERVATIONS:

H.1. Vents only, no other plumbing/piping was visible for inspection



Garage/Carport

Your garage is a crucial space for safety. We'll inspect the firewall, if present, for proper construction to prevent fire spread. GFCI outlets will be checked for correct operation, ensuring electrical safety. Fire-rated doors between the garage and home will be assessed for proper closure and sealing. Garage door openers will be tested for smooth operation, safety sensors, and auto-reverse function. We'll also examine the garage door itself for secure mounting and proper function. Safety is paramount in the garage, so these checks are essential for your peace of mind.

A. Garage Walls

OBSERVATIONS:

- A.1. Some areas not accessible or visible due to access limitations or personal items/furnishings
- A.2. Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed, typical for age and material
- A.3. Heavy patched areas, recommend repair or replace, condition beneath patches unknown
- A.4. Large holes, recommend repair or replace



B. Anchor Bolts

OBSERVATIONS:

- B.1. Present, worn/old/rusted
-

C. Rafters & Ceilings

OBSERVATIONS:

- C.1. Normal wear for age
 - C.2. Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed, typical for age and material
-

D. Slab & Stem Wall

OBSERVATIONS:

- D.1. Some areas not accessible or visible due to access limitations or personal items/furnishings
 - D.2. Worn and stained areas, typical for age and material
 - D.3. Small cracking in areas, normal for age and material
-

E. Firewall

*Garage walls to living area must be fire rated typically 1/2" drywall or 7/8 plaster * Garage ceilings with habitable living space above garage must be 5/8 type X drywall or 7/8" plaster*

OBSERVATIONS:

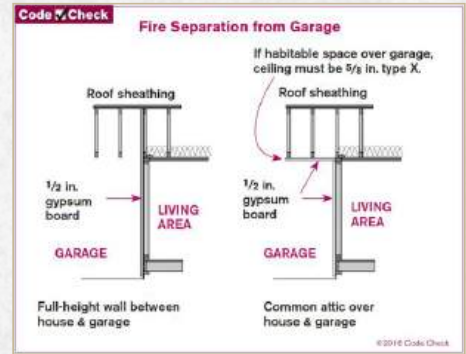
- E.1. Holes present in fire wall, recommend repair or replace to retain integrity of fire separation
- E.2. Missing fire rated materials, recommend repair or replace to retain integrity of fire separation



Holes present in fire wall, recommend repair or replace to retain integrity of fire separation



Missing fire rated materials, recommend repair or replace to retain integrity of fire separation



F. Automotive Doors

We recommend periodic garage door/hardware maintenance and lubrication * Consult a garage door contractor for proper care

AUTOMOTIVE DOOR TYPE:

- Metal sectional

OBSERVATIONS:

F.1. Worn/weathered door, typical for age and exposure to weather

F.2. Small dented areas, did not affect door performance

F.3. Cracked in areas, recommend repair or replace



Cracked in areas, recommend repair or replace

G. Hardware & Springs

OBSERVATIONS:

G.1. Door hardware is in a worn or loose condition, recommend standard service/lubrication

H. Garage Door Opener(s)

The door activator button should be a minimum of 54" above the floor for safety * Be sure to consult seller regarding the existence of all garage door opener radio controlled devices, as we do not test them * Garage door pressure sensors are not tested due to the risk of damage * Door openers manufactured or imported after 1992 should be equipped with an external entrapment protection system for safety reverse

OBSERVATIONS:

H.1. Opener(s) operated at the time of the inspection

H.2. Normal wear at time of inspection

I. Garage Door(s) Safety Reverse

If an electric eye sensor is installed, it should be installed between 4" to 6" above the floor for safety and proper operation * Pressure sensors/systems are not tested due to the risk of damage

OBSERVATIONS:

I.1. Light beam/auto reverse was tested and operated properly

J. Fire Doors

Doors that have a 20 minute fire rating are permitted, solid wood doors must be a minimum of 1-3/8" in thickness, solid or honeycomb-core steel doors must be a minimum of 1-3/8" in thickness * Doors/openings from garage directly into a room used for sleeping purposes are not permitted

OBSERVATIONS:

J.1. Operated at the time of inspection

J.2. Normal wear at time of inspection

K. Exterior Doors(s)

OBSERVATIONS:

K.1. Operated at time of inspection

K.2. Normal wear for age

L. Electrical

OBSERVATIONS:

L.1. Accessible lights/switches/outlets were tested on the day of the inspection

L.2. Garage has a combination of new and older outlets/switches

L.3. Unsecured or loose wiring/conduit/electrical, recommend repair or replace



Unsecured or loose wiring/conduit/electrical, recommend repair or replace

M. GFCI Protection

Garage GFCI protection is extremely important and may, or may not have been required when structure was built. If garage GFCI protection is not present during this inspection, we recommend contacting an electrical contractor for installation * The inspector is not required to trip master GFCI from every garage outlet in order to determine if they have proper protection

OBSERVATIONS:

M.1. No visible GFCI outlets, recommend upgrade for increased safety



N. Windows

OBSERVATIONS:

N.1. Visible/accessible windows have worn frames/hardware/sills/tracks, recommend window maintenance

N.2. Stains/blisters at sill, tested dry for moisture at the time of the inspection, monitor the areas for moisture intrusion



Stains/blisters at sill, tested dry for moisture at the time of the inspection, monitor the areas for moisture intrusion

O. Ventilation & Screens

*The inspector does not calculate/determine the garage ventilation requirements * Consult your local authority/licensed contractor to provide you with accurate ventilation calculations and requirements*

OBSERVATIONS:

O.1. Could not access

Exterior areas

The exterior inspection focuses on the protective shell of your home. This includes examining the stucco, siding, brick, or stone for any signs of damage or deterioration. We also carefully inspect the eaves, fascia, and soffits, which are vital for protecting your home from water damage. Exterior windows and doors are checked for proper sealing and operation, ensuring they keep out the elements and provide security. These exterior components work together to safeguard your home from weather and maintain its structural integrity. Understanding their condition is key to protecting your investment.

A. Stucco & Weep Screed

*Small cracking is very common and typical. It can be caused by many factors, such as: settling, wind, curing/material application, temperature and earthquake movement * Stucco requires periodic maintenance, consult a stucco contractor for proper care * The inspector cannot determine if the stucco system is draining/weeping properly * It is important to direct sprinklers/moisture away from stucco and weep screed * We recommend the installation of area drains/rain gutters, if not present*

OBSERVATIONS:

- A.1. Stucco worn/weathered, typical for age and material
- A.2. Small cracking/chipping/blemished stucco, typical and cosmetic



General view



General view

B. Exterior cladding & trim

*Siding requires periodic maintenance, consult a painting/siding contractor for proper care * The inspector cannot determine the condition of the wall area behind siding * It is important to direct sprinklers/moisture away from siding * We recommend the installation of area drains/rain gutters, if not present * We highly recommend that you obtain a structural pest control inspection * The inspector does not determine the presence of/damage caused by wood destroying organisms*

CONSTRUCTION MATERIALS:

- Wood/Wood Shingles
 - Brick/Stone
-

OBSERVATIONS:

- B.1. Worn/weathered/cracked materials, recommend siding maintenance
- B.2. Flashing encapsulated at upper balcony deck, recommend further evaluation
- B.3. Missing wall to balcony flashing, recommend repair or replace | North side of structure



Recommend sealant



Missing wall to balcony flashing, recommend repair or replace | North side of structure



Flashing encapsulated at upper balcony deck, recommend further evaluation

C. Chimney

OBSERVATIONS:

C.1. Step cracking present, recommend repair or replace

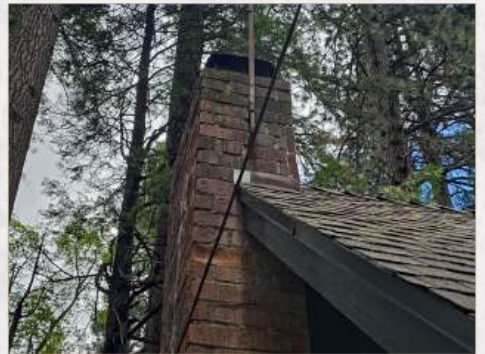
C.2. Improper grout tooling and loose grout present at chimney, recommend repair or replace



Step cracking present, recommend repair or replace



Improper grout tooling and loose grout present at chimney, recommend repair or replace



D. Eaves & Fascia

*The eaves/fascia require periodic maintenance, consult a painting/siding contractor for proper care * We recommend the installation of rain gutters, if not present * We highly recommend that you obtain a structural pest control inspection * The inspector does not determine the presence of/damage caused by wood destroying organisms*

OBSERVATIONS:

D.1. Cracking/weathering/staining where visible, typical for age and weather exposure, recommend maintenance

E. Exterior Doors

*Periodic maintenance is recommended for all exterior wood doors/windows/sliders * Consult a painting/siding/weatherization and energy conservation contractor for proper care * We highly recommend that you obtain a structural pest control inspection * The inspector does not determine the presence of/damage caused by wood destroying organisms*

OBSERVATIONS:

E.1. Operated at time of inspection

F. Exterior Windows

*Periodic window maintenance is recommended * Consult a weatherization and energy conservation contractor for proper care*

OBSERVATIONS:

F.1. See interior section for additional information, some exterior window areas may not be visible due to height/limited access/vegetation/etc.

F.2. Window(s) not original to structure, consult local authority/check for permits on all replacements windows to ensure proper installation in accordance with local building codes

F.3. Windows/screens have normal wear for age

F.4. Dirty windows in areas, internal condensation is not determinable, recommend cleaning and further inspection

G. Exterior Paint

*Paint maintenance is recommended every 3 to 5 years * We recommend painting/sealing all wood surfaces * Consult a painting contractor for proper care*

OBSERVATIONS:

G.1. Weathered and worn areas, typical for age and weather exposure



Foundation

The foundation is the base of your home, and this inspection covers its visible areas, including any slab on grade, basement, and crawlspace. We'll identify the foundation type and access points to the under-floor areas. We'll also look for potential issues like wood near soil, which can lead to rot and pests, signs of active water penetration, indicating potential leaks, and indications of foundation movement, such as large drywall or brick cracks, uneven door frames, or unlevel floors.

Additionally, we'll note any improper cutting, notching, or boring of framing members that could compromise the structure's safety. Understanding the foundation's condition is vital, as it directly impacts your home's stability and long-term health.

A. Foundation Access/Cover

*The foundation inspection is generally limited due to many factors, including: opening size, limited space/height, missing service, wires or electrical, plumbing, ducting or personal items * The inspector does not determine the presence of hazardous materials, including asbestos or lead paint in any part of the structure. Please read the agreement included in this report * The inspector cannot determine if rodents, birds or pests are present or active. If you have particular concerns, we recommend contacting a pest control company to evaluate*

FOUNDATION ACCESS LOCATION(S):

- South side of structure
- East side of structure

INSPECTION INFORMATION:

- Foundation was fully visible/accessible

OBSERVATIONS:

- A.1. Access cover has normal wear at the time of the inspection



B. Foundation Walls

In older structures, we recommend that you order a separate foundation inspection by a licensed contractor. A licensed contractor can provide you with information regarding retrofitting/fortifying an older foundation

FOUNDATION TYPE:

- Concrete construction
- Concrete masonry blocks/Cinder blocks/CMU construction

OBSERVATIONS:

- B.1. Minor cracks (less than 1/8-inch), typical for age and material
B.2. Cold joint present, may be an indication of an addition, check all permits
B.3. Efflorescence present, indicates past moisture accumulation, monitor for further moisture intrusion



Efflorescence present, indicates past moisture accumulation, monitor for further moisture intrusion



Minor cracks (less than 1/8-inch), typical for age and material



C. Cripple Walls

OBSERVATIONS:

C.1. Cripple walls have been added/remodeled/alterd, recommend a (B) General Building Contractor to verify proper installation/consult local authority/check for permits

C.2. Cripple wall sheer wall supports present, appear to be functional at the time of the inspection

D. Sub Floor

*We highly recommend that you obtain a structural pest control inspection * The inspector does not determine the presence of/damage caused by wood destroying organisms*

OBSERVATIONS:

D.1. Most areas not accessible or visible due to access limitations or insulation

E. Posts/Girders/Hardware

OBSERVATIONS:

E.1. Worn/stained areas, typical for age of structure

F. Sill Plate

OBSERVATIONS:

F.1. Worn/stained/cracked materials, typical for the age of the structure

G. Anchor Bolts/Plates

OBSERVATIONS:

G.1. Anchor bolts present, worn with rust present, typical

H. Electrical

*Many areas of the foundation electrical are generally not visible * If wiring has been added/alterd, check for permits/consult an electrical contractor to ensure electrical installation/materials comply with building code*

OBSERVATIONS:

H.1. Electrical has been added/remodeled/alterd, recommend a (C10) Electrical Contractor to verify proper installation/consult local authority/check for permits

H.2. Structure has a combination of newer and older wiring

I. Plumbing

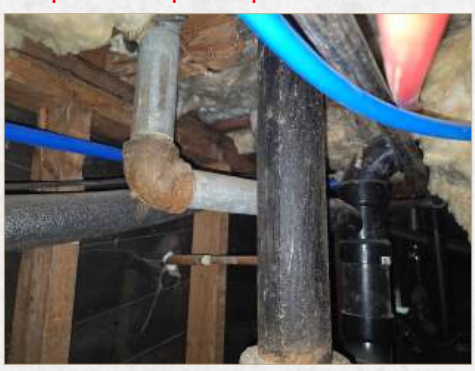
If large trees/shrubs are in close proximity to structure, we recommend ordering a plumbing main line sewer scope inspection, please contact our office at (888) 673-7791 * Many areas of the foundation plumbing are generally not visible * If plumbing has been added/altered, check for permits/consult a plumbing contractor to ensure plumbing installation/materials comply with building code

OBSERVATIONS:

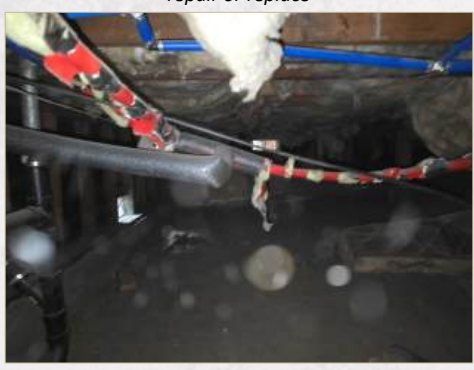
- I.1. Plumbing has been added/remodeled/altered, recommend a **(C-36) Plumbing Contractor** to verify proper installation/consult local authority/check for permits
- I.2. Structure has a combination of newer and older plumbing
- I.3. Cast-iron drain pipes rusted/corroded, recommend repair or replace
- I.4. Water supply pipes not properly fastened/supported, recommend repair or replace
- I.5. Plumbing drain pipes not properly supported, recommend repair or replace
- I.6. Irregular installation/materials/workmanship, recommend further evaluation | In areas
- I.7. Air admittance valve present, recommend repair or replace | Under structure
- I.8. Open vent, recommend repair or replace | Under structure



Cast-iron drain pipes rusted/corroded, recommend repair or replace



Plumbing drain pipes not properly supported, recommend repair or replace



Water supply pipes not properly fastened/supported, recommend repair or replace



Air admittance valve present, recommend repair or replace | Under structure



Open vent, recommend repair or replace | Under structure



Cast-iron drain pipes rusted/corroded, recommend repair or replace

J. Duct Work

OBSERVATIONS:

J.1. Duct work has been added/remodeled/altered, recommend a (C-20) HVAC Contractor to verify proper installation/consult local authority/check for permits

J.2. All visible/accessible duct areas have normal wear for age at the time of the inspection



K. Ventilation & Vent Screens

*The inspector does not calculate/determine the raised foundation/basement ventilation requirements * Consult your local authority/licensed contractor to provide you with accurate ventilation calculations and requirements*

OBSERVATIONS:

K.1. Existing ventilation appeared to be adequate on the day of the inspection

Grounds

The grounds section inspection will cover items such as; adjacent or entryway walkways, patios, and driveways, vegetation, grading, surface drainage, fencing and retaining walls that are likely to adversely affect the building.

A. Driveway, Walkways & Decks

CONSTRUCTION MATERIALS:
• Concrete/Stamped/Colored concrete

OBSERVATIONS:
A.1. Moderate cracking, recommend maintenance/repairs

B. Balcony Deck & Railings

The balcony deck is visually inspected only. The inspector cannot determine if a balcony deck is watertight * Water/hose testing is not performed, nor does the inspector level or measure for proper fall * If drains/scuppers/gutters are present, the inspector cannot determine if they are connected properly * If you have particular concerns, consult a siding and decking contractor for additional tests/inspections

- OBSERVATIONS:
- B.1. Worn/stained areas, typical for age and material
 - B.2. Cracked/warped/missing/loose boards, recommend repair or replace
 - B.3. Wood fasteners loose/missing/extruding, potential hazard, recommend repair or replace
 - B.4. Handrail/guardrail openings too wide, normal for age, 4" maximum recommended for safety
 - B.5. Cracking/exposed seams, recommend maintenance
 - B.6. Ponding water/evidence of ponding, deck not draining properly, recommend further evaluation
 - B.7. Trees affecting balcony, posts not plum or true, recommed further evaluation



Trees affecting balcony, posts not plum or true, recommed further evaluation



Handrail/guardrail openings too wide, normal for age, 4" maximum recommended for safety

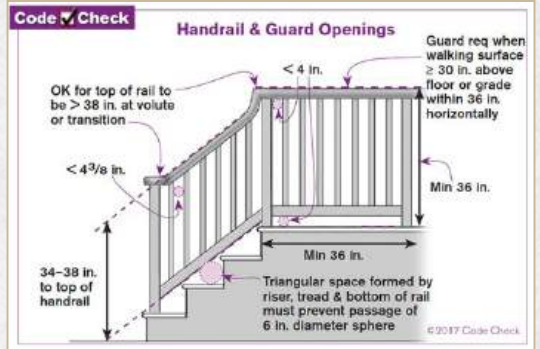
Ponding water/evidence of ponding, deck not draining properly, recommend further evaluation



Cracking/exposed seams, recommend maintenance



Handrail/guardrail openings too wide, normal for age, 4" maximum recommended for safety



C. Stairs & Railings

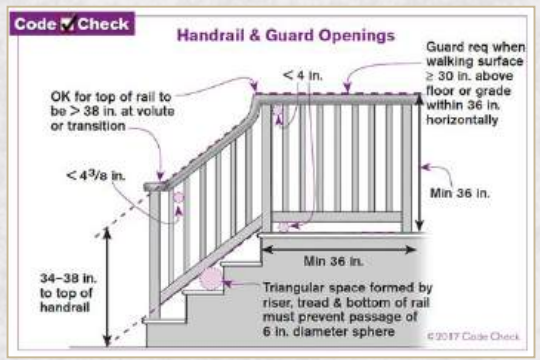
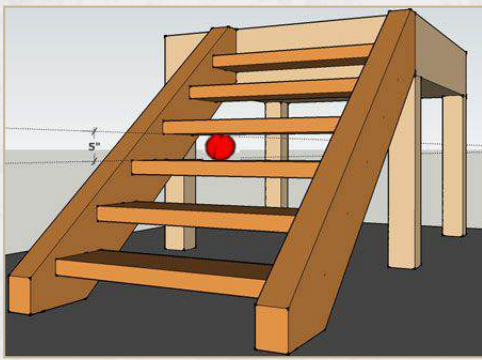
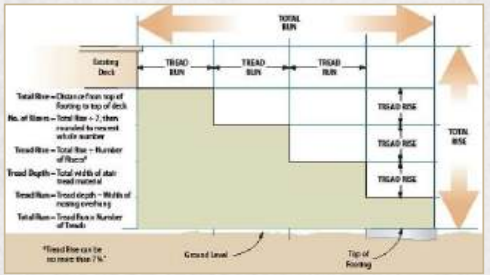
- C.1. Rise/run irregular, recommend further valuation
- C.2. Open stair risers, potential safety issue for children, recommend repair or replace
- C.3. Handrail/guardrail openings too wide, normal for age of the structure, 4-3/8" maximum recommended for increased safety



Open stair risers, potential safety issue for children, recommend repair or replace



Handrail/guardrail openings too wide, normal for age of the structure, 4-3/8" maximum recommended for increased safety



D. Electrical

*The inspector does not perform stress testing of the electrical system * Yard area line voltage electrical that is not readily visible and accessible is not inspected * Low voltage lighting/transformers are excluded from this inspection*

OBSERVATIONS:

- D.1. Accessible lights/switches/outlets were tested on the day of the inspection
- D.2. Grounds have a combination of new and older fixtures/switches/outlets
- D.3. Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry
- D.4. Some light(s) did not function (may be on sensors or timers), check bulbs first, then consult an electrician if needed
- D.5. Fixture did not operate, recommend repair or replace | East side of structure**



Fixture did not operate, recommend repair or replace | East side of structure

E. GFCI Protection

*Exterior GFCI protection is extremely important and may, or may not have been required when structure was built. If exterior GFCI protection is not present during this inspection, we recommend contacting an electrical contractor for installation * The inspector is not required to trip master GFCI from every exterior outlet in order to determine if they have proper protection*

OBSERVATIONS:

- E.1. GFCI not grounded, typical for old Ungrounded system pre-1965



GFCI not grounded, typical for old Ungrounded system pre-1965

F. Exterior Plumbing

*If CSST gas lines are present, the inspector cannot determine if they are properly grounded/bonded. Always check for installation permits/consult a plumbing contractor * The inspector cannot determine the presence of plumbing defects/pinhole leaks concealed by concrete/walls/ceilings, nor does the inspector identify geographical areas prone to defects * Consult the seller disclosures/plumbing contractor if you have particular concerns * This inspection excludes sump pumps and septic systems * Concealed sewer drains and water supply piping is excluded
If multiple plumbing types exist, the inspector can only give an approximate estimate of types * Consult a plumbing contractor for a more precise estimate*

STRUCTURE PLUMBING TYPE:

- PEX
 - Copper
 - Cast iron/steel, **ABS** drain piping
 - Polybutylene plastic, a complete water distribution system evaluation is recommended
-

OBSERVATIONS:

F.1. Accessible hose faucets/plumbing operated, worn/weathered, typical for age and material

F.2. Polybutylene plastic plumbing present, we recommend a complete water distribution system evaluation in areas



Polybutylene plastic plumbing present, we recommend a complete water distribution system evaluation in areas

G. Main Water Valve

Water valves are visually inspected only, valves are not opened or closed during inspection

MAIN WATER VALVE LOCATION:

- Under structure
-

OBSERVATIONS:

G.1. Improper shut off valve using gas valve for shut off, recommend repair or replace



Improper shut off valve, using gas valve for shut off, recommend repair or replace

H. Water Pressure

The standard recommended water pressure range is 55 to 80 PSI (pounds per square inch)

OBSERVATIONS:

H.1. Water pressure: 65 psi

I. Water Pressure Regulator

OBSERVATIONS:

I.1. No water pressure regulator installed/visible, recommended for maintaining proper water pressure to the structure



J. Sprinkler & Irrigation

*The sprinkler inspection is limited, piping below soil is not inspected * The inspector will run a 1 minute manual cycle on the timer * If sprinklers are present, we recommend adjusting all sprinkler heads away from spraying structure/fences/walkways * We recommend adding automated timers that are equipped with water conservation sensors*

SPRINKLER/IRRIGATION INFORMATION:

- Sprinklers/irrigation not inspected/tested, consult seller/occupant/association/landscape contractor

K. Planters

*Planter vegetation needs periodic maintenance, we recommend pruning shrubs/bushes at least 1 foot away from structure * If missing, we recommend adding area drains/rain gutters in order to divert moisture away from structure * If high planters exist the inspector cannot determine if planters are properly water proofed, or provide protection from moisture intrusion into the structure. If you have particular concerns, consult seller disclosures/consult a licensed contractor*

OBSERVATIONS:

- K.1. Tree limbs within 10 feet or touching roof should be trimmed
- K.2. Tree(s) too close to structure, consult local authority before removal



Tree(s) too close to structure, consult local authority before removal

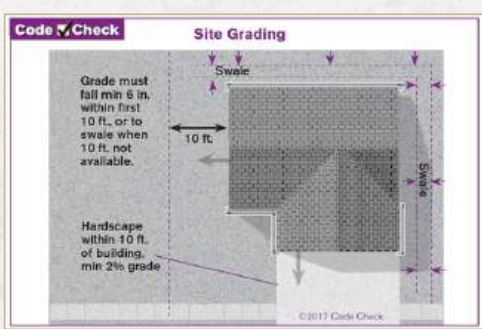
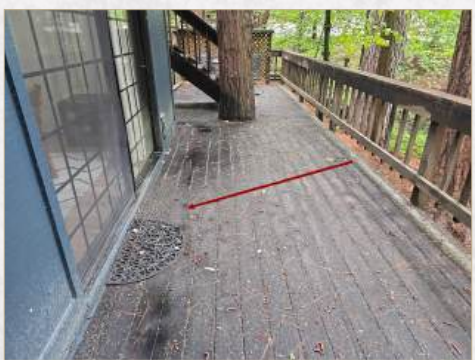


L. Grade

*The inspector does not level or measure for proper fall away from the structure * Drainage needs cannot be determined by the inspector * If missing, we recommend consulting a licensed contractor to install area drains/rain gutters * If present, steep hillside areas are excluded from this inspection. We recommend contacting your local authority for brush clearing and fire zone requirements*

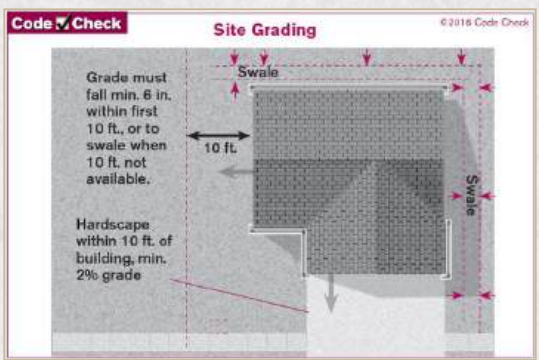
OBSERVATIONS:

- L.1. Unknown drainage piping, consult seller for additional information | Entry
- L.2. Grade slopes towards structure, recommend further evaluation balcony
- L.3. Grade/Driveway slopes towards garage, potential for moisture intrusion, recommend further evaluation | West of structure



Unknown drainage piping, consult seller for additional information | Entry

Grade slopes towards structure, recommend further evaluation



Roof

The roof is your home's primary defense against the elements, and this inspection focuses on its key components. We'll examine the roof-covering materials, such as shingles, tiles, or metal, for any signs of damage, wear, or deterioration. We'll also inspect the gutters and downspouts, ensuring they're properly attached and functioning to direct water away from the home's foundation. Roof vents, flashing, skylights, visible areas of the chimney, and other roof penetrations will be assessed for proper sealing and potential leaks. The general structure of the roof will be visually evaluated for any signs of sagging, damage, or potential issues. We'll specifically report any observed indications of active roof leaks, which can lead to significant water damage if left unaddressed. Understanding the condition of your roof is crucial for maintaining your home's integrity and preventing costly repairs.

A. Roof

*The roof is visually inspected only * The inspector cannot determine if the roof/roof system leaks, regardless of weather conditions * Water/hose testing is not performed by the inspector * The inspector does not determine the remaining roof life * Be sure to consult seller for disclosures. If you have particular concerns, consult a roofing contractor for a more exhaustive inspection*

ROOF INSPECTION INFORMATION:

- Inspected roof from the ground
- Inspected roof from a ladder at the eaves
- Inspected roof from second floor balcony

CONSTRUCTION MATERIALS:

- Asphalt shingles

OBSERVATIONS:

- A.1. Roofing materials at this structure appear newer/not original to structure, consult local authority/check for permits
- A.2. Visible materials show signs of normal wear for the age, recommend seasonal maintenance
- A.3. Trees overhang roof, recommend trimming away from structure
- A.4. Vegetation touching roof areas, recommend removing debris and trimming vegetation away from structure





B. Roof Flashing

OBSERVATIONS:

B.1. Worn/weathered/rusted/bent, typical for age, recommend seasonal mastic maintenance to prevent moisture intrusion

C. Roof Vents & Caps

OBSERVATIONS:

C.1. Worn/weathered cap(s), recommend seasonal maintenance to ensure that caps do not become loose or develop other defects

D. Gutters & Downspouts

OBSERVATIONS:

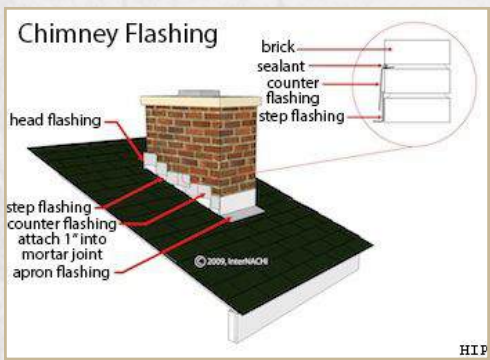
D.1. No rain gutters at this structure

E. Chimney

*The chimney inspection includes all exterior accessible areas of the chimney * The interior or flue is not inspected * Inquire with a certified chimney sweep for a complete chimney inspections*

OBSERVATIONS:

E.1. Flashing/mastic at base of chimney worn/loose/cracked, recommend maintenance to ensure a continued waterproof seal



Flashing/mastic at base of chimney worn/loose/cracked, recommend maintenance to ensure a continued waterproof seal

F. Spark Arrestor

OBSERVATIONS:

F.1. Could not access all areas, partially inspected
F.2. Worn/weathered, typical for age

Sewer camera inspection

A. Conditions of Sewer Line

Report Details:

- Waste line materials: ABS, Clay, Cast iron/steel
- Clean out location: | South of structure
- Clean out size: 3"
- Final distance reached: 50'

OBSERVATIONS:

- A.1. Sewer line is older/deteriorated, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace
- A.2. Sewer line sludge present, recommend sewer line hydro jet, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace
- A.3. Clogging found in sewer line, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace
- A.4. Debris observed in sewer line, recommend sewer line hydro jet, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace
- A.5. Standing water was found in areas of the sewer line, probable cause; settling/improper slope/fall, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace
- A.6. Pipe separation/steps observed in sewer line, recommend contacting a (C-36) Plumbing Contractor for pricing and available remedies for repair/replace



Clean out



CLICK PHOTO TO VIEW VIDEO



CLICK PHOTO TO VIEW VIDEO



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Glossary

Term	Definition
(B) General Building Contractor	<p>B - General Building Contractor</p> <p>(a) Except as provided in this section, a general building contractor is a contractor whose principal contracting business is in connection with any structure built, being built, or to be built, for the support, shelter, and enclosure of persons, animals, chattels, or movable property of any kind, requiring in its construction the use of at least two unrelated building trades or crafts, or to do or superintend the whole or any part thereof.</p> <p>This does not include anyone who merely furnishes materials or supplies under Section 7045 without fabricating them into, or consuming them in the performance of the work of the general building contractor.</p> <p>(b) A general building contractor may take a prime contract or a subcontract for a framing or carpentry project. However, a general building contractor shall not take a prime contract for any project involving trades other than framing or carpentry unless the prime contract requires at least two unrelated building trades or crafts other than framing or carpentry, or unless the general building contractor holds the appropriate license classification or subcontracts with an appropriately licensed specialty contractor to perform the work. A general building contractor shall not take a subcontract involving trades other than framing or carpentry, unless the subcontract requires at least two unrelated trades or crafts other than framing or carpentry, or unless the general building contractor holds the appropriate license classification. The general building contractor may not count framing or carpentry in calculating the two unrelated trades necessary in order for the general building contractor to be able to take a prime contract or subcontract for a project involving other trades.</p> <p>(c) No general building contractor shall contract for any project that includes the "C-16" Fire Protection classification as provided for in Section 7026.12 or the "C-57" Well Drilling classification as provided for in Section 13750.5 of the Water Code, unless the general building contractor holds the specialty license, or subcontracts with the appropriately licensed specialty contractor.</p> <hr/> <p>ALWAYS USE A CALIFORNIA LICENSED CONTRACTOR TO PERFORM RECOMMENDED REPAIRS/EVALUATIONS FOUND IN THIS REPORT.</p> <p>California State License Board: https://www.cslb.ca.gov</p>

(C-36) Plumbing Contractor	<p>C-36 - Plumbing Contractor</p> <p>A plumbing contractor provides a means for a supply of safe water, ample in volume and of suitable temperature for the purpose intended and the proper disposal of fluid waste from the premises in all structures and fixed works. This classification includes but is not limited to:</p> <p>(a) Complete removal of waste from the premises or the construction and connection of on-site waste disposal systems;</p> <p>(b) Piping, storage tanks and venting for a safe and adequate supply of gases and liquids for any purpose, including vacuum, compressed air and gases for medical, dental, commercial and industrial uses;</p> <p>(c) All gas appliances, flues and gas connections for all systems including suspended space heating units. This does not include forced warm air units;</p> <p>(d) Water and gas piping from the property owner's side of the utility meter to the structure or fixed works;</p> <p>(e) Installation of any type of equipment to heat water, or fluids, to a temperature suitable for the purposes listed in this section, including the installation of solar equipment for this purpose; and</p> <p>(f) The maintenance and replacement of all items described above and all health and safety devices such as, but not limited to, gas earthquake valves, gas control valves, back flow preventers, water conditioning equipment and regulating valves.</p> <hr/> <p>ALWAYS USE A CALIFORNIA LICENSED CONTRACTOR TO PERFORM RECOMMENDED REPAIRS/EVALUATIONS FOUND IN THIS REPORT.</p> <p>California State License Board: https://www.cslb.ca.gov</p>
(C10) Electrical Contractor	<p>C-10 - Electrical Contractor</p> <p>An electrical contractor places, installs, erects or connects any electrical wires, fixtures, appliances, apparatus, raceways, conduits, solar photovoltaic cells or any part thereof, which generate, transmit, transform or utilize electrical energy in any form or for any purpose.</p> <hr/> <p>ALWAYS USE A CALIFORNIA LICENSED CONTRACTOR TO PERFORM RECOMMENDED REPAIRS/EVALUATIONS FOUND IN THIS REPORT.</p> <p>California State License Board: https://www.cslb.ca.gov</p>
A/C	Abbreviation for air conditioner and air conditioning
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.

GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.